



**COMMUNITY DEVELOPMENT**  
 101 – 14<sup>th</sup> Street • Cloquet MN 55720  
 Phone: 218-879-2507 • Fax: 218-879-6555  
[www.cloquetmn.gov](http://www.cloquetmn.gov)

## New Residential Project Checklist

**Project Address:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
**Owner's Name:** \_\_\_\_\_ **Phone/Email:** \_\_\_\_\_  
**Primary Contacts:** \_\_\_\_\_ **Phone/Email:** \_\_\_\_\_  
 \_\_\_\_\_ **Phone/Email:** \_\_\_\_\_  
 \_\_\_\_\_ **Phone/Email:** \_\_\_\_\_

REQUIRED APPLICANT SUBMITTALS	REQUIRED? Y / N	DATE SUBMITTED	DATE APPROVED
<b>Site Plan</b> (2 sets - paper)			
<ul style="list-style-type: none"> <li>Zoning review (setbacks, signage, landscaping, parking, review of utility easements, cross easements etc.)</li> </ul>			
<b>Grading Plan</b> (2 sets - paper)			
<ul style="list-style-type: none"> <li>Wetland Conservation Act impacts?</li> </ul>			
<ul style="list-style-type: none"> <li>MPCA Construction Stormwater Permit required for projects disturbing more than 1 acre. (MPCA Application and Stormwater Pollution and Prevention Plan (SWPPP) to be reviewed by City prior to submittal to MPCA by applicant.)</li> </ul>			
<b>Architectural/Building Plans</b> (2 sets - paper)			
<b>Plumbing Plans</b> (2 sets - paper)			
<b>HVAC / Mechanical Plans</b> (2 sets - paper)			
<ul style="list-style-type: none"> <li>Contractor submits electrical plans to the State (DOLI)</li> </ul>			
<b>Soil Testing Information</b> (type)			
<b>Structural Calculations</b>			
<b>Building Envelope Forms</b> (thermal energy calculations)			
<b>Radon Mitigation Plan</b>			
<b>Mechanical HVAC Compliance Forms</b>			
<b>Existing Structure Plans</b> (1 set -paper)			
<b>Addendums</b>			
<b>Contractor to provide</b> U.L. system number for fire blocking for prior approval; engineer truss details (IBC Sec 2303.4.14); ASI's & RFP's if requested			



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CITY PERMIT STATUS	REQUIRED? Y / N	DATE SUBMITTED	DATE APPROVED
<b>Building Permit</b>			
<b>City Plumbing Permit</b>			
<b>Mechanical / HVAC Permit</b>			
<b>Electrical</b> (inspected by state DOLI)			
<ul style="list-style-type: none"> <li>City will verify there is a state approval sticker during Final Inspection to receive Certificate of Occupancy</li> </ul>			
<b>City Grading Permit</b>			
<ul style="list-style-type: none"> <li>Wetland impacts permit (WCA)</li> <li>MPCA SW Construction Permit</li> </ul>			
<b>Utility Application for Water/Sewer Connection</b>			
<ul style="list-style-type: none"> <li>Western Lake Superior Sanitary District (WLSSD) Capacity Availability Fee (CAF) application and determination. (Requires submittal of building and plumbing plans to WLSSD by City from the applicant.)</li> </ul>			
<ul style="list-style-type: none"> <li>City Engineering sewer connection fee determination and approval.</li> </ul>			
<ul style="list-style-type: none"> <li>City Engineering water connection fee determination and approval.</li> </ul>			
<b>Excavation Permit</b> (required for all excavations within public R.O.W.)			
<b>R.O.W. Occupation Permit</b> (required if any facilities to be located within ROW, except for Water & Sewer utilities.)			
<b>Building Certificate of Occupancy</b> (final building inspection, City will inspect for exterior address posting – minimum individual number size 4")			



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Permit Fees	Amount	Paid Yes/No
• Building Permit		
• Plumbing Permit		
• Grading Permit		
• Mechanical / HVAC		
<b>City Utility Permits</b>		
• WLSSD CAF		
• City Sewer Connection Fee		
• City Water Connection Fee		
• City Water Meter Fee		
• Other		

**Authorization for Construction by:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Comments**

**City of Cloquet**  
**Official Notice of Building Department**  
**Inspection Service Procedures**

This handout is intended to inform permit holders of required inspections and also gain compliance with the requirements of the Minnesota State Building Code.

Inspectors from this department will be available for conference, or to receive phone calls, between the hours of 8:00 A.M. and 9:00 A.M., Monday through Friday, or as available throughout the remainder of the day. Inspections will normally be performed between the hours of 9:00 A.M. and 4:30 P.M. by appointment. Requests for inspections received between the hours of 8:00 A.M. and 9:00 A.M. can sometimes result in the inspection being scheduled for the same day after 10:00 A.M. It is preferred, however, that requests be submitted at least 24 hours before the inspection is needed. Any request received after 10:00 A.M. may have to be scheduled for the following day, depending upon the level of activity. No inspections will be scheduled between the hours of 8:00 A.M. and 9:00 A.M.

No inspection will be made unless an appropriate permit for such work has previously been obtained. Work requiring inspection should be complete at the time of the inspection. A re-inspection fee of \$45.00 may be charged if the work is not ready at the time of inspection. This fee would not apply for re-inspection required as a result of needed corrections.

Your cooperation in observing these procedures will eliminate the necessity of recalls, and will enable this department to provide better service. The telephone number to use when calling for inspections is 879-2507.

Matt Munter  
Building Official / Code Enforcement

**Required Inspections**

- \_\_\_\_\_ Footings or Slab Forms (before concrete is poured)
- \_\_\_\_\_ Framing
- \_\_\_\_\_ Plumbing (before concrete is poured or wallboard is applied)
- \_\_\_\_\_ Insulation/Vapor Retarder (before wallboard is applied)
- \_\_\_\_\_ Roof Underlayment (before shingles are applied)
- \_\_\_\_\_ Wallboard (before taping)
- \_\_\_\_\_ Other (special inspections, as required by Code) \_\_\_\_\_
- \_\_\_\_\_ Final (when the job is complete)

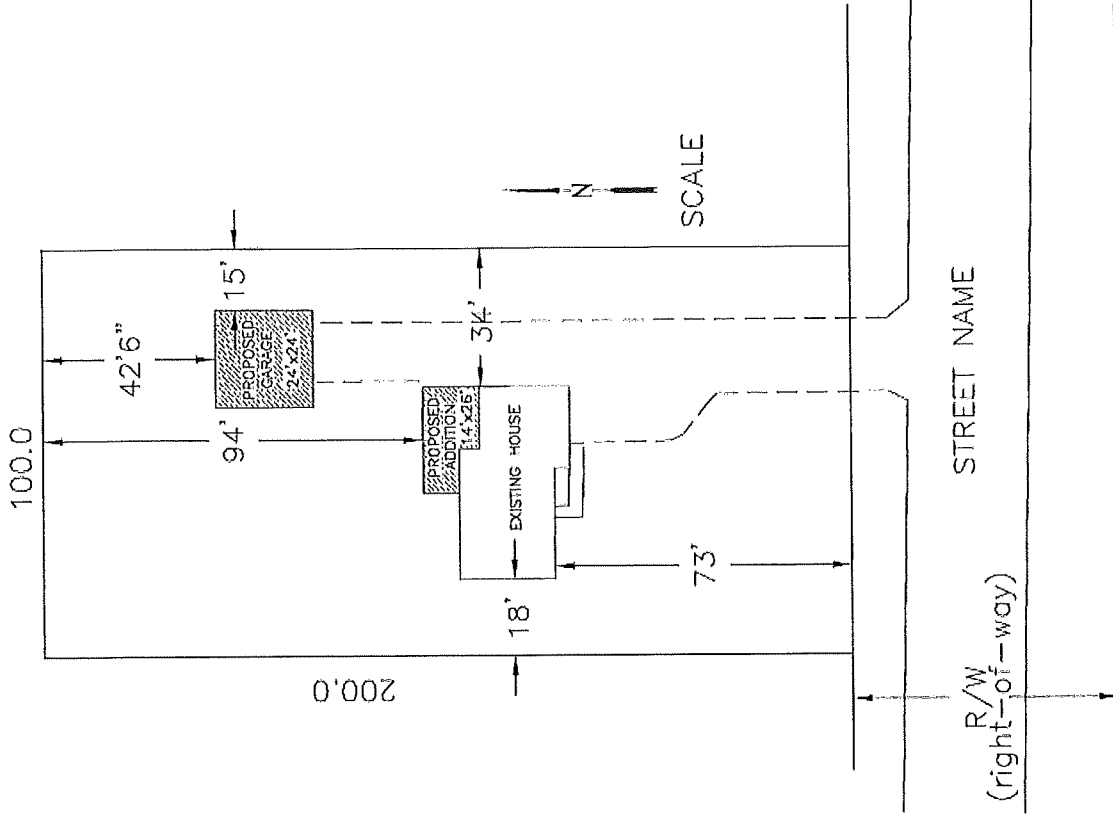
A CERTIFICATE OF OCCUPANCY (if applicable) WILL ONLY BE ISSUED IF THE REQUIRED INSPECTIONS LISTED ABOVE HAVE BEEN PERFORMED AND THE INSPECTION RECORD CARD SIGNED BY THE APPROPRIATE AUTHORITY.

## SITE PLAN REQUIREMENTS FOR BUILDING PERMITS

All applications for Building Permits that involve construction of a new building or structure, and/or an addition to an existing building or structure, **must be accompanied by a site plan**. The site plan shall contain as a minimum, the following information:

1. Be drawn to a convenient scale, with a north arrow designating direction.
2. Legal Description.
3. All yards clearly labeled (front, side, rear).
4. All platted and recorded easements.
5. Distances between buildings and between all buildings and property lines shall be clearly indicated.
6. Dimensions of the property clearly indicated, dimensions of the proposed driveway indicated.
7. Streets and street name(s) clearly indicated and labeled, house number to be indicated on the home.
8. Use of each building clearly labeled (i.e. house, garage, shed, etc.), commercial permits indicate construction type and occupancy type of each building.
9. All proposed buildings, A future garage location must be indicated if a proposed residential building does not include garage construction.
10. Generalized drainage and landscaping on the property, including contours and/or spot elevations. Building and lot elevations should be provided at each corner of the structure.
11. Location of stakes established by the surveyor along each side lot line a distance of 25 feet (residential) or 65 feet (farm residential) from the front lot corner. In some cases (i.e. urban core) a new survey may be required to establish property lines.
12. Any major natural features, such as water bodies, steep slopes, wetlands, large trees, rock outcroppings, etc. shall be clearly labeled, with distances to buildings and property lines indicated.
13. When design of a structure is required to be by a licensed professional, the site/grading plan shall be designed and signed by a civil engineer.
14. The architectural site plan shall show the parking, curb cuts, signs, and required accessibility path, etc. if not shown on the civil drawings, including above information.

Providing this information will assist the City Staff in the timely review of permit applications, and will hopefully eliminate confusion regarding compliance with City Codes and Ordinances. There will be no exceptions to this site plan requirement.





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**BUILDING DEPARTMENT SITE OR PLOT PLAN**

Addition to Permit # \_\_\_\_\_

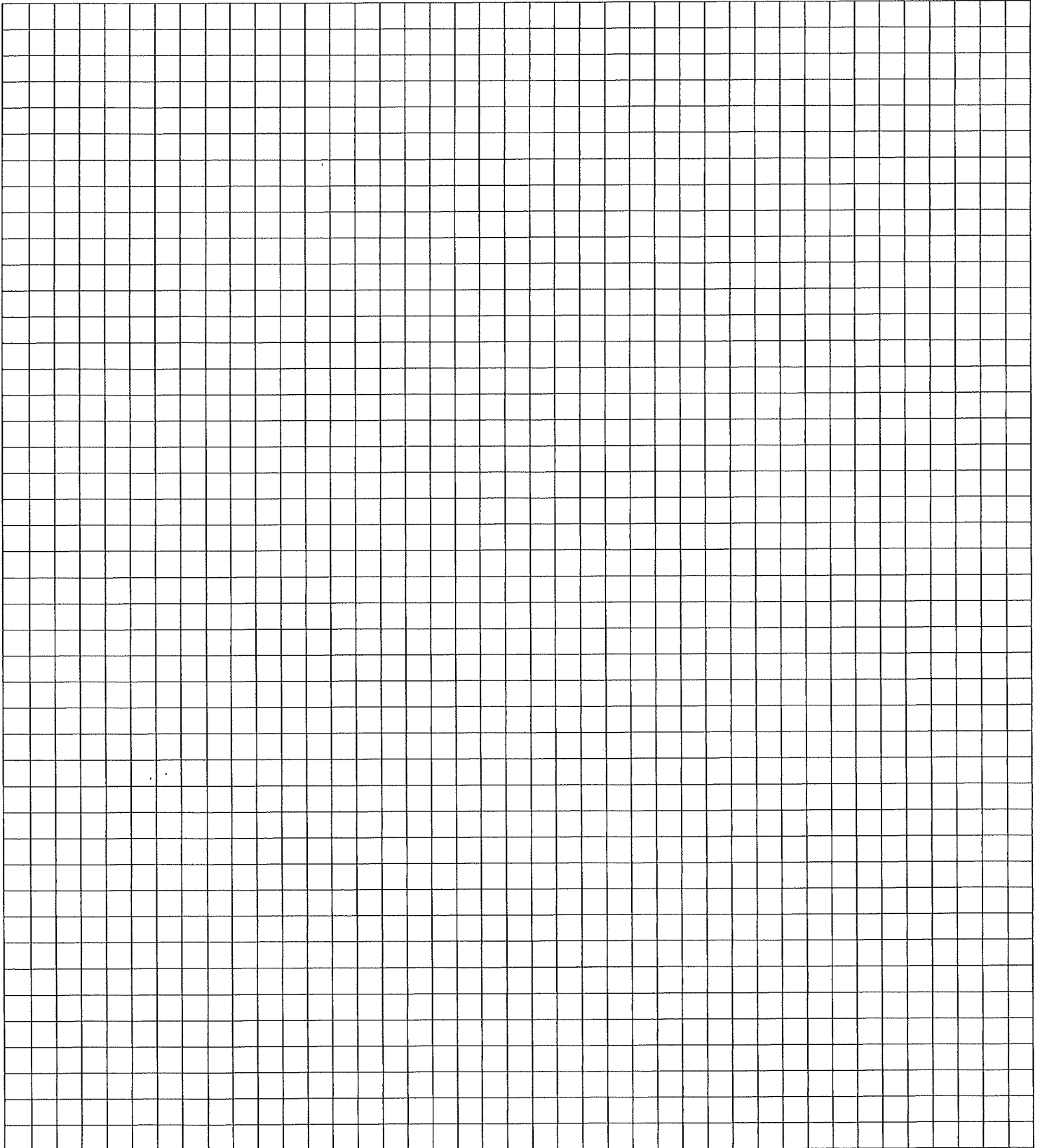
The undersigned hereby certify that the site plan shown below is a correct set back plan of dwellings and other structures.



Date: \_\_\_\_\_ Signature \_\_\_\_\_

Scale: 1 sq = 1'

**N**



# New Construction Energy Code Compliance Certificate

Per R401.3 Certificate. A building certificate shall be posted on or in the electrical distribution panel.

Date Certificate  
Posted \_\_\_\_\_



Mailing Address of the Dwelling or Dwelling Unit	City
Name of Residential Contractor	MN License Number

THERMAL ENVELOPE										RADON CONTROL SYSTEM	
Insulation Location	Total R-Value of all Types of Insulation	Type: Check All That Apply								RADON CONTROL SYSTEM	
		Non or Not Applicable	Fiberglass, Blown	Fiberglass, Batts	Foam, Closed Cell	Foam Open Cell	Mineral Fiberboard	Rigid, Extruded Polystyrene	Rigid, Isocynurate	Passive (No Fan)	Active (With fan and monometer or other system monitoring device)
Below Entire Slab										Location (or future location) of Fan:	
Foundation Wall										Other Please Describe Here	
Perimeter of Slab on Grade											
Rim Joist (1st Floor)											
Rim Joist (2nd Floor+)											
Wall											
Ceiling, flat											
Ceiling, vaulted											
Bay Windows or cantilevered areas											
Floors over unconditioned area											
Describe other insulated areas											

Building envelope air tightness:		Duct system air tightness:	
Windows & Doors		Heating or Cooling Ducts Outside Conditioned Spaces	
Average U-Factor (excludes skylights and one door) U:		Not applicable, all ducts located in conditioned space	
Solar Heat Gain Coefficient (SHGC):		R-value	

MECHANICAL SYSTEMS						Make-up Air Select a Type	
Appliances	Heating System		Domestic Water Heater		Cooling System		
Fuel Type						Not required per mech. code	
Manufacturer						Passive	
Model						Powered	
Rating or Size	Input in BTUS:		Capacity in Gallons:		Output in Tons:		Interlocked with exhaust device. Describe:
Efficiency	AFUE or HSPF%				SEER /EER		Other, describe:
Residential Load Calculation	Heating Loss		Heating Gain		Cooling Load		Location of duct or system:
							Cfm's
							" round duct OR
							" metal duct

MECHANICAL VENTILATION SYSTEM						Combustion Air Select a Type	
Describe any additional or combined heating or cooling systems if installed: (e.g. two furnaces or air source heat pump with gas back-up furnace):						Not required per mech. code	
Select Type						Passive	
Heat Recover Ventilator (HRV) Capacity in cfm's:	Low:		High:		Other, describe:		
Energy Recover Ventilator (ERV) Capacity in cfm's:	Low:		High:		Location of duct or system:		
Balanced Ventilation capacity in cfm's:							
Location of fan(s), describe:						Cfm's	
Capacity continuous ventilation rate in cfm's:						" round duct OR	
Total ventilation (Intermittent + continuous) rate in cfm's:						" metal duct	



**RADON**  
City of Cloquet  
Community Development Department  
218-879-2507  
[www.cloquetmn.gov](http://www.cloquetmn.gov)

This handout is intended only as a guide and is based in part on the 2007 Minnesota State Building Code, Grand Rapids City Ordinances, and good building practice. While every attempt has been made to insure the correctness of this handout, no guarantees are made to its accuracy or completeness. Responsibility for compliance with applicable codes and ordinances falls on the owner or contractor. For specific questions regarding code requirements, refer to the applicable codes or contact your local Building Safety Division.

**REQUIRED.** Effective June 1, 2009, a passive sub-slab depressurization system must be provided in all new single-family dwellings, two-family dwellings, and townhouses. This applies to buildings with basements, conditioned or unconditioned crawl spaces, and slab-on-grade buildings.

**SUMMARY OF SELECTED PORTIONS**

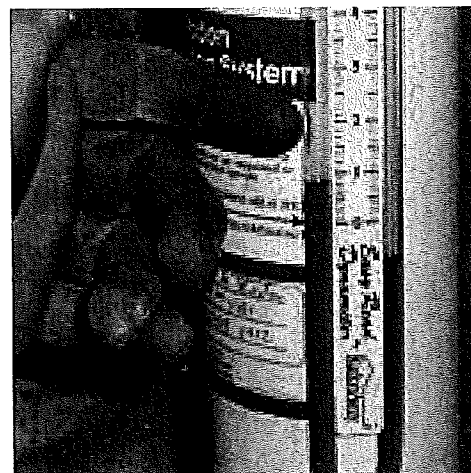
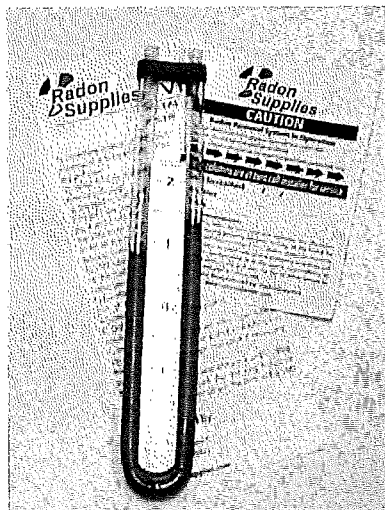
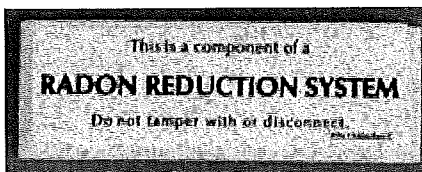
- 1) **Subfloor.** A 4-inch layer of one of the following must be placed under any basement or crawl space floor slab or assembly: a) A layer of clean aggregate consisting of material that will pass through a 2-inch sieve and be retained by a 1/4-inch sieve or b) A layer of sand ***overlain by a layer or strips of geotextile drainage matting***. c) Other material, systems, or floor designs with demonstrated capability to permit depressurization across the entire sub-floor area.
- 2) **Soil-gas-retarder.** A minimum 6-mil or 3-mil cross-laminated polyethylene sheeting shall be placed on top of the sand or aggregate base or the soil in the case of a crawl space. The sheeting must:  
a) cover the entire floor area with separate sections lapped at least 12 inches, b) fit closely around any pipe, wire, or penetration of the material, and c) have any punctures or tears sealed. The sheeting is not required to be sealed at laps or where placed on footings.
- 3) **Floor openings.** Openings around bathtubs, showers, water closets, pipes, wires or other objects that penetrate concrete slabs or other floor assemblies shall be filled with a polyurethane caulk or equivalent sealant.
- 4) **Joints.** All control joints, isolation joints, construction joints, and any other joints in concrete slabs or between slabs and foundation walls must be sealed with a polyurethane caulk or other elastomeric sealant grouted masonry, or a solid concrete beam shall be provided at or above finished ground level. Brick ledges shall be sealed.
- 5) **Sumps.** Sumps open to soil or serving ***interior*** drain tile loops must have a gasketed or sealed lid.
- 6) **Masonry foundation walls.** A continuous course of solid masonry, on course of solid shall be sealed.
- 7) **Waterproofing/dampproofing.** Exterior surfaces of foundation walls must be waterproofed/dampproofed in accordance with IRC Section R406.
- 8) **Ducts.** Ducts passing through or beneath a slab shall be seamless. Ductwork in crawl spaces shall have seams and joints sealed.
- 9) **Vent pipe.** A 3-or 4-inch tee shall be inserted beneath the soil-gas-retarder. Ten feet of 3-or 4-inch diameter perforated pipe must be connected to ***each*** side of the tee. The horizontal pipe must be embedded in the sub-slab permeable material when a slab or floor assembly exists. Instead of a tee, the pipe may be inserted directly into an interior perimeter drain tile loop or through a sealed sump cover where the sump is exposed to the sub-slab aggregate or connected to it through a drainage system. A 3-or 4-inch vertical pipe shall extend from the tee, the drain tile loop, or the sump through the conditioned space of the building terminating at least 12 inches above the roof at least 10 feet from any window or other opening into conditioned spaces that is less than 2 feet below the exhaust point and at least 10 feet



from any window or opening into an adjoining or adjacent building.

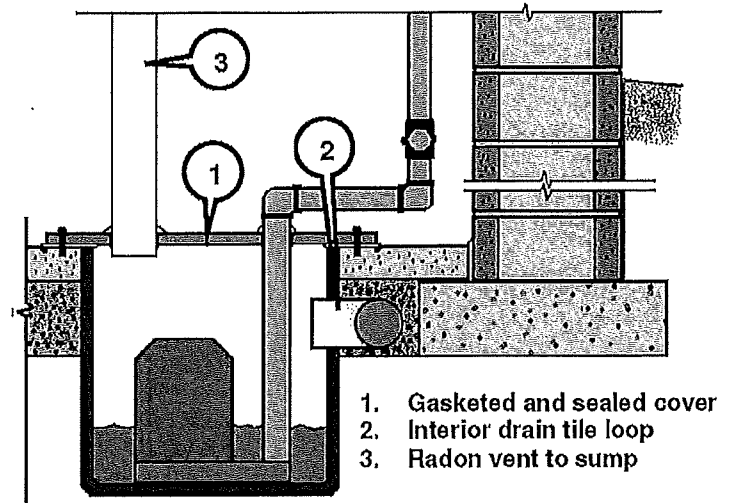
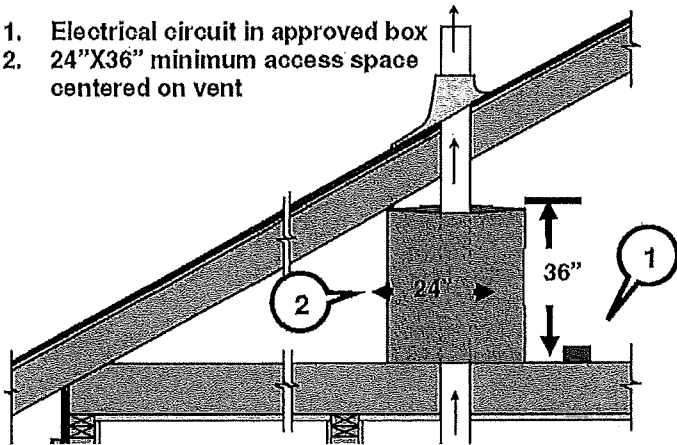
- 10) **Active systems.** If an active system is installed, the vent pipe may be routed through unconditioned space *within the building or garage, provided the vent pipe is insulated to a minimum of R-4.*
- 11) **Monitoring system.** A monitoring system is required on all active systems.
- 12) **Divided basements.** When sub-slab aggregate is separated by footings or other barriers, each area must have an individual vent pipe. Individual vents may be connected into a single terminal vent.
- 13) **Multi-level basements/crawl spaces.** When multilevel basements or combination basement/crawl spaces occur, each type of foundation must have a separate vent pipe.
- 14) **Vent drainage.** All vents must be pitched to provide positive drainage.
- 15) **Access.** Where vent pipes pass through attics, a working space not less than 24 inches in diameter and 36 inches high must be provided.
- 16) **Identification.** Each vent pipe must be identified with a label reading "Radon Reduction System" on each floor and in attics even if located in a concealed space.
- 17) **Power source.** An electrical circuit terminated in an approved box must be installed in the attic adjacent the vent pipe.

## IDENTIFICATION LABELS MONITORING SYSTEMS



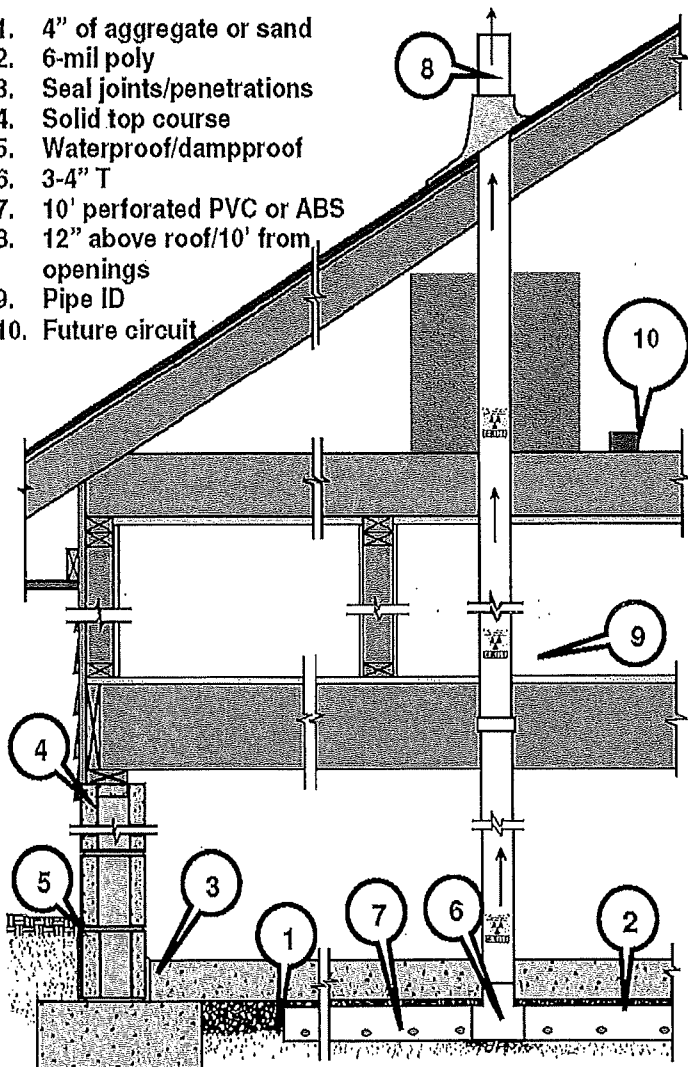
## ACCESS TO FUTURE FAN LOCATION REQUIRED

1. Electrical circuit in approved box
2. 24"X36" minimum access space centered on vent



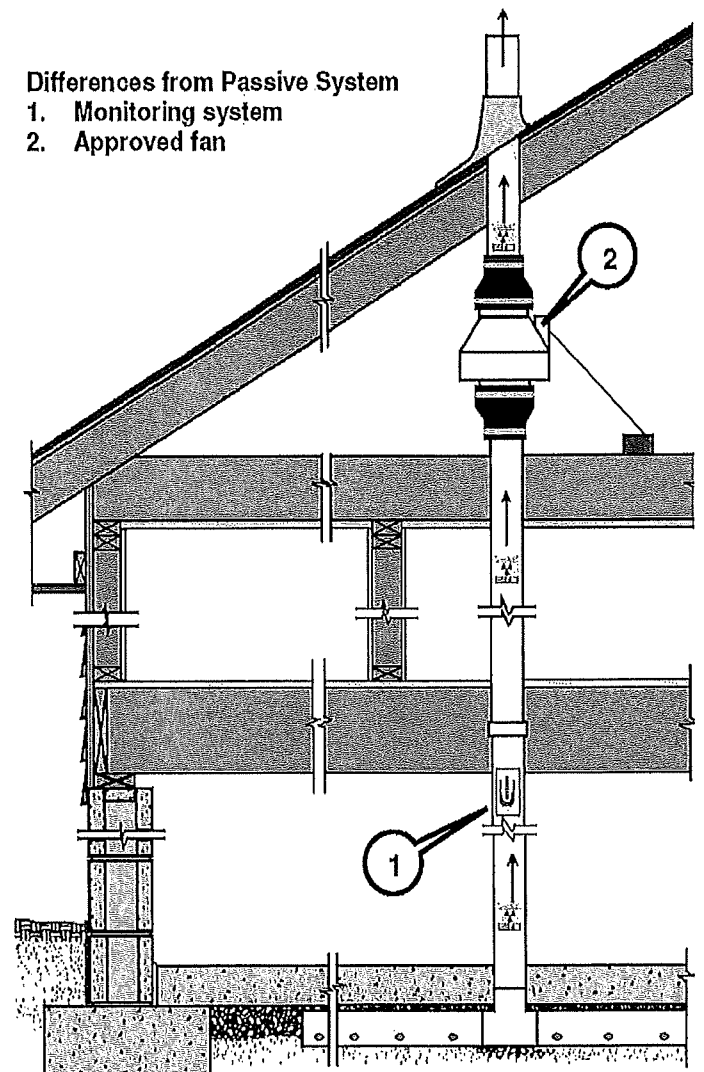
## PASSIVE SYSTEM (Minimum Required)

1. 4" of aggregate or sand
2. 6-mil poly
3. Seal joints/penetrations
4. Solid top course
5. Waterproof/dampproof
6. 3-4" T
7. 10' perforated PVC or ABS
8. 12" above roof/10' from openings
9. Pipe ID
10. Future circuit



## ACTIVE SYSTEM

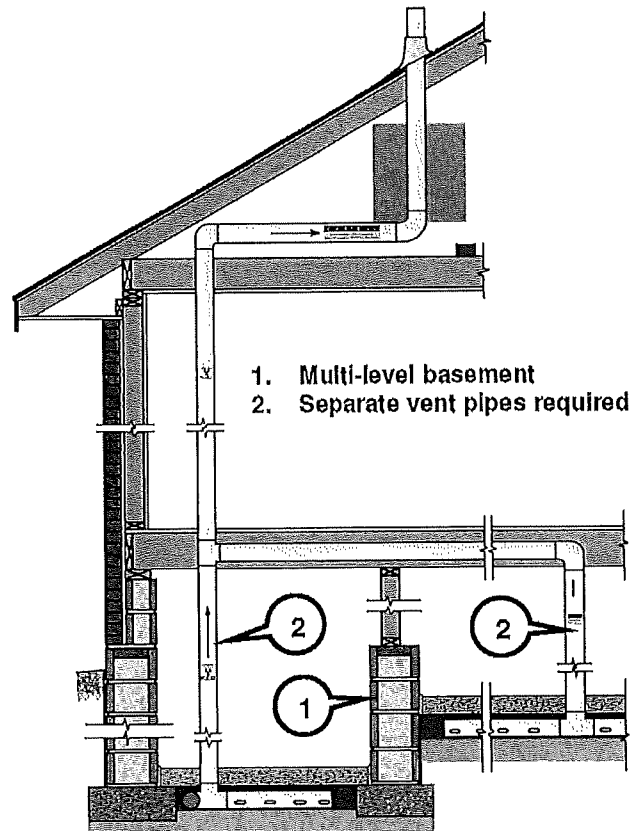
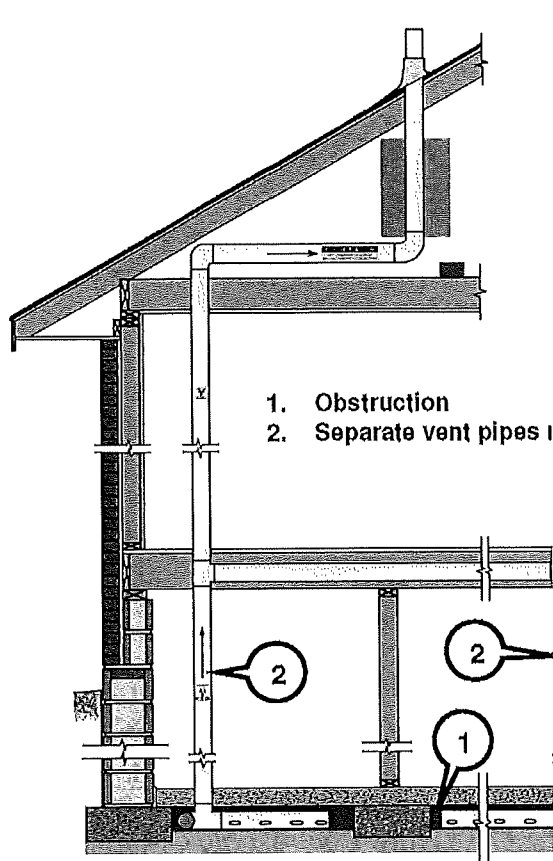
- Differences from Passive System
1. Monitoring system
  2. Approved fan



## OBSTRUCTED SUB-SLAB AGGREGATE MULTI-LEVEL BASEMENTS

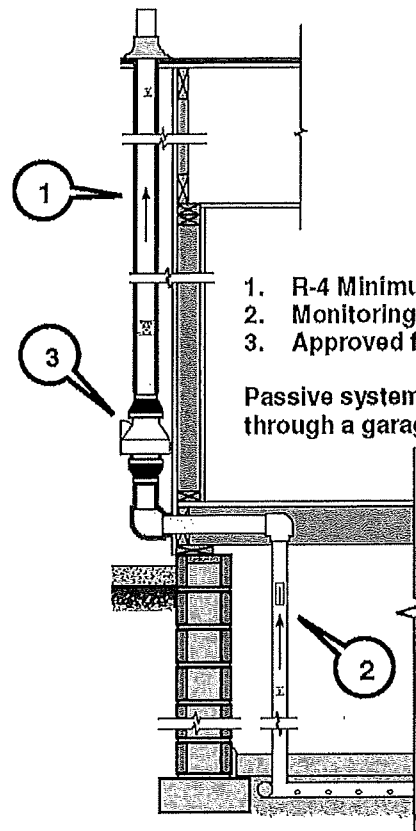
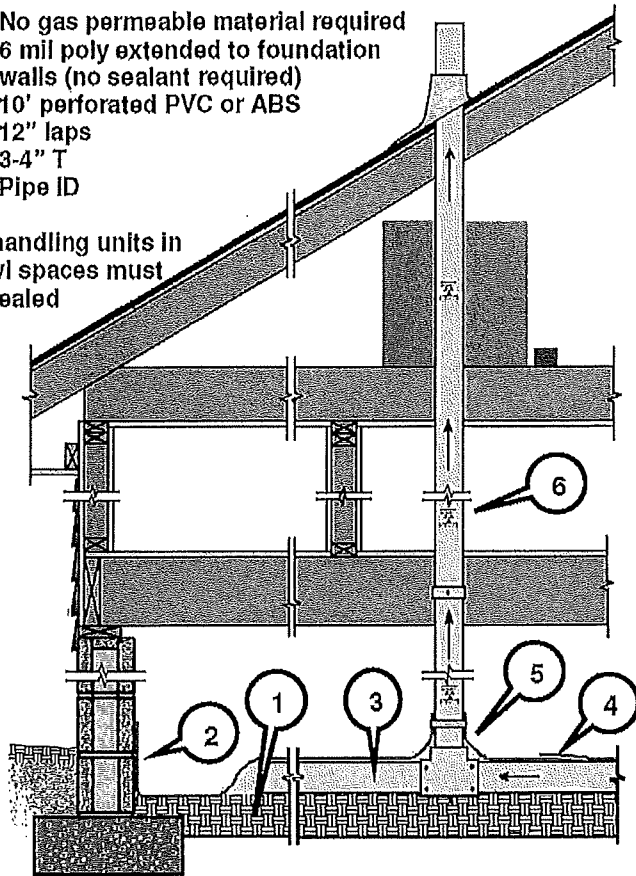
### CONDITIONED CRAWL SPACES ACTIVE SYSTEM THRU GARAGE

Vent pipes routed through unconditioned spaces shall be insulated with a **minimum** of R4 insulation.



1. No gas permeable material required
2. 6 mil poly extended to foundation walls (no sealant required)
3. 10' perforated PVC or ABS
4. 12" laps
5. 3-4" T
6. Pipe ID

Air handling units in crawl spaces must be sealed



1. R-4 Minimum insulation
2. Monitoring system
3. Approved fan

Passive systems may not pass through a garage

## Q&A

**Q.** How do I measure the working space?

**A.** There must be a clear working space 24 inches wide by 36 inches high centered on the vent. The dimensions are measured between framing members. Insulation should not encroach into the working space.

**Q.** How close must the vent be to the attic access?

**A.** There is no minimum distance specified in the code however access cannot be obstructed by roof designs. For ease of future fan installation, it is recommended that the vent be located as close to the attic access as practicable.

**Q.** Must the **passive** vent be insulated where it passes through an attic?

**A.** Yes. Vent pipes routed through unconditioned spaces shall be insulated with a minimum of R4 insulation

**Q.** Who must install the sub-slab depressurization system?

**A.** The code is silent on who must install the system. The rules are part of the Minnesota State Building Code. The person obtaining the building permit is responsible for compliance and correction orders for violations will be directed to the permit holder.

**Q.** Must I install an outlet adjacent the vent pipe access?

**A.** The code only requires that an electrical circuit be provided that terminates in an approved box. It doesn't require an outlet.

**Q.** How close must the power source be to the vent pipe?

**A.** The code only states that an electrical circuit in an approved box be installed at the anticipated location of the vent pipe fan. We suggest that the box be within three feet of the anticipated location.

**Q.** Must I seal the soil gas retarder at laps or where it contacts footings or penetrations?

**A.** No. The code only requires that the retarder cover the entire floor area and be lapped at least 12 inches.

**Q.** If I use sand and a geotextile drainage mat, must I still use a soil gas retarder?

**A.** Yes. The geotextile drainage mat does not take the place of the soil gas retarder.

**Q.** Can I install the vent pipe through the garage or in an exterior wall?

**A.** No. The vent must extend through the floors of the dwelling and be in conditioned space. Exterior walls and garages are not conditioned space by definition.

**Q.** Is there no way to install the vent through the garage or an exterior wall?

**A.** The code permits active systems to be installed in exterior walls and garages. This means a fan and monitoring system must be installed and the vent must be insulated to a minimum of R-4.

**Q.** Is there a limit on how far a vent can run horizontally or how many elbows can be used?

**A.** Horizontal piping and elbows should be avoided if possible for the passive vent to work most effectively but there are no limitations on the length of horizontal runs or elbows.

**Q.** What pitch is required on horizontal runs?

**A.** The code only requires that horizontal sections provide positive drainage to the ground beneath the slab. There is no minimum pitch specified.

**Q.** Where should the pipe identification be located?

**A.** The vent must be identified on each floor including basements and attics. This includes where the vent may be concealed behind wall finishes. It is suggested that the identification be located at eye level in exposed locations and approximately two feet above the floor in concealed locations.

**Q.** Can I install the vent into the sump or drain tile?

**A.** Yes. The vent can be installed into a T that is inserted into an interior drain tile loop or into a sump. Sump lids must be designed to accommodate the vent pipe and be gasketed or sealed to the sump basket.

**Q.** Must I caulk control joints?

**A.** The code requires that control joints, isolation joints, construction joints, and joints between slabs and foundation walls be sealed with a caulk or sealant. We believe this applies only when the joint goes completely through the slab. If joints are saw cut or if strips are installed that penetrate only an inch or so into the slab, we don't believe the code intends these areas be caulked. The stated purpose of the soil gas retarder is to bridge any future cracks that may develop in the slab.

**Q.** How do I treat the basement floor opening around a tub drain?

**A.** While the code requires that the area be filled with a polyurethane caulk, we believe this is not practical in many situations. An acceptable alternate would be to seal the area with a section of 6-mil poly. Contact points should be caulked or sealed to the floor.

**Q.** In some cities, I am permitted to do things that you say aren't permitted. How come?

**A.** We try to enforce the rules as they are written. But, some portions are subject to interpretation. If anyone disagrees with the way a rule is enforced, they should discuss the matter with the Building Safety Division. If you are proposing to install a radon system that differs with what the rules require, you must submit drawings and supporting documentation with your building plans for review and approval **before** you undertake that design in the field.

**Q.** Where can I get more information about radon rules?

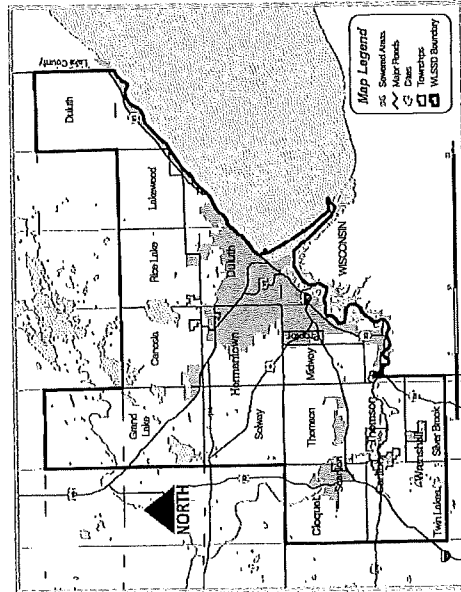
**A.** Additional information regarding radon systems can be found on the web site of the Builders Association of Minnesota (<http://www.bamn.org/>) or from the Minnesota Department of Labor and Industry (<http://www.doli.state.mn.us/CCLD/EnergyConservation.asp>).

# Western Lake Superior Sanitary District

WLSSD was created by the Minnesota Legislature in 1971 to address serious water pollution problems in the lower St. Louis River. WLSSD serves as the wastewater and solid waste authority within its 530 square mile legislative boundary in northeastern Minnesota.

Wastewater is transported from cities and industries to WLSSD's regional treatment plant through a 75-mile network of interceptor sewers. The treatment plant is designed to treat an average daily flow of 48 million gallons of wastewater. Effluent consistently meets strict state and federal regulatory standards for pollutants.

Additionally, WLSSD also operates a Regional Household Hazardous Waste Facility, Materials Recovery Center and Organics Composting Facility as well as a Solid Waste Transfer Station handling about 100,000 tons of solid waste annually.



# CAPACITY AVAILABILITY FREE

All municipalities within WLSSD's service area have been provided with a copy of the CAF Procedures Manual. To view this document, please contact the city or township office where your permit was issued or visit [www.wlssd.com](http://www.wlssd.com).

Other questions regarding the CAF may be directed to:

Dan Belden  
Senior Planner  
dan.belden@wlssd.com  
(218) 740-4774

Brandon Kohlits  
Planner  
brandon.kohlits@wlssd.com  
(218) 740-4798



## Clear Answers for Clean Water

Western Lake Superior Sanitary District  
2626 Courtland Street  
Duluth, Minnesota 55806-1894  
(218) 722-3336 • [www.wlssd.com](http://www.wlssd.com)



Clear Answers for Clean Water™

Printed on recycled content paper.  
© 2006 WLSSD IH/ST/1000 (RV 08/10)

Western Lake Superior Sanitary District

## What is the CAF?

The Capacity Availability Fee (CAF) is a fee charged by the Western Lake Superior Sanitary District (WLSSD). All new sewer connections and construction projects that will result in expanded use of the sewer system require that a CAF is paid.

The cost of constructing and maintaining the sewer system has been paid by existing sewer system customers since 1978. A new (or expanded) user of the sewer system pays a CAF to contribute to the cost of their proportionate share of existing sewer system capacity. WLSSD uses the fees collected to reduce the annual debt burden for all new and existing customers. The CAF is typically paid at the time a building or plumbing permit is issued for new construction or remodeling.

## How is my CAF calculated?

The municipality that issues your permit will calculate the cost of a single family residence CAF. The CAF is calculated based on a standardized formula provided by WLSSD that determines the maximum potential volume of wastewater that could be generated. Each CAF unit is equivalent to 260 gallons of daily wastewater flow.

Single family dwellings will pay one CAF unit. For other buildings, WLSSD staff will assist your municipality to determine the appropriate CAF. This process will take into account average wastewater flows for specific activities that will occur on site (e.g. food preparation, laundry, maintenance).

## What if I'm demolishing or replacing an existing building?

WLSSD may provide CAF credits toward a new project, provided that a new building is replacing an existing structure which will be demolished. WLSSD will only charge a CAF for expanded use of the sewer system.

Any CAF credits are valid for only one year following demolition or remodeling that occurs on your property. The property owner and municipality are responsible for documenting the time between demolition and any new construction that occurs.

Some common examples of one CAF unit:

- 1 single family dwelling
- 2 automobile service bays (fast service)
- 3 beds in a nursing home
- 8 seats at a full service restaurant
- 22 seats at a fast food restaurant
- 64 seats at a theatre
- 2,400 sq. ft. of office space
- 3,000 sq. ft. of retail space
- 7,000 sq. ft. of warehouse space

## How is the CAF collected?

WLSSD functions as a wholesaler of wastewater services within the region. Therefore, municipalities are responsible for collecting the CAF from individual property owners or developers. The municipality will, in turn, pay WLSSD.

The CAF payment is typically due when a building or plumbing permit is issued. Each municipality retains 4% of this fee for administration costs.

Large industries connecting directly to the WLSSD system will pay the CAF directly to WLSSD.

If your permit is cancelled, you may be eligible to receive a refund for the CAF. The municipality issuing the permit must provide a copy of the voided permit to WLSSD in order to process the refund.

More information is available in the Capacity Availability Fee Procedures Manual at [wlssd.com](http://wlssd.com). Click on "Doing Business with Us".

## Will my project need to have a CAF determination?

Required	Not Required
<ul style="list-style-type: none"><li>• Construction of a new residence or business.</li><li>• Remodeling that results in a change in the number of dwelling units.</li><li>• Remodeling that is done to accommodate a change in use.</li><li>• Demolition that is followed by construction or development on the same site.</li><li>• Development resulting in a change in immediate and future sewer use.</li></ul>	<ul style="list-style-type: none"><li>• Deconstruction of a building, with no intent to redevelop.</li><li>• Additions to a residence that will not affect the number of dwelling units.</li><li>• Development where a septic system will be used.</li></ul>



# Application For New Water/Sewer Service And/Or Taps

## City of Cloquet, MN

Application for a water or sewer service installation and for water and or sewer service shall be made to the City Engineer on the following form. By his or her signature, the applicant shall agree to conform with Chapter 11 (Cloquet Utilities Ordinance) and to the rules and regulations that may be established by the City as conditions for the use of these services. No connections shall be made to the City water or sanitary sewer system without first having obtained the following approved permit.

Name of Property Owner: \_\_\_\_\_

Address/City/State/Zip: \_\_\_\_\_

Telephone Number: (     ) \_\_\_\_\_ FAX (     ) \_\_\_\_\_

Application Date: \_\_\_\_\_

### LOCATION OF TAP:

Address: \_\_\_\_\_

Legal Description of Property: \_\_\_\_\_

County Parcel ID Number: \_\_\_\_\_

### CONTRACTOR INFORMATION:

Name of Plumber: \_\_\_\_\_ Telephone: \_\_\_\_\_

Name of Excavator: \_\_\_\_\_ Telephone: \_\_\_\_\_

Name of General Contractor: \_\_\_\_\_ Telephone: \_\_\_\_\_

DESCRIPTION OF WORK: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

New Connections?     ☐ Yes     ☐ No

Type of Use?     ☐ Single Family Residential     ☐ Multi Family Residential     ☐ Commercial  
                         ☐ Other (Explain) \_\_\_\_\_

Size of Water Tap? \_\_\_\_\_ Type of Pipe? \_\_\_\_\_

Size of Sewer Tap? \_\_\_\_\_ Type of Pipe? \_\_\_\_\_

Size of Water Meter? \_\_\_\_\_ Type of Meter? \_\_\_\_\_

In addition to this approved Application For Service, to make connections to any City owned water or sewer utilities will require a Plumbing Permit and Excavation Permit issued by the Building Office. If you have any questions regarding this or any other permit application, please contact the City Engineer's Office at (218) 879-6758.

# Application For New Water/Sewer Service Tap

## City of Cloquet, MN

### The Following To Be Filled In By City

Water Connection Fee: \$ \_\_\_\_\_  
Sewer Connection Fee: \$ \_\_\_\_\_  
WLSSD CAF Fee: \$ \_\_\_\_\_

### **Other Materials Furnished By City**

\_\_\_\_\_ Corporation Stop \$ \_\_\_\_\_  
\_\_\_\_\_ Curb Stop \_\_\_\_\_  
\_\_\_\_\_ Curb Box \_\_\_\_\_  
\_\_\_\_\_ Water Meter Type: \_\_\_\_\_  
\_\_\_\_\_ Other: \_\_\_\_\_

Material Subtotal \$ \_\_\_\_\_  
7.875% Sales Tax \_\_\_\_\_

Sewer Tap Charge \$ \_\_\_\_\_

**Total Charge -----** \$ \_\_\_\_\_

Size and Model of Meter Issued: \_\_\_\_\_ SN: \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_

The above charges are due and payable to the City of Cloquet within 30 days after the connection is made. It is expressly understood that this permit is conditioned upon replacement or restoration of the street to its original or to a satisfactory condition. The City shall be given at least two days advanced notice prior to any connections. Authority to act under this permit is not granted until it is approved by the Director of Public Works and received back by the applicant. The applicant shall be responsible for the payment of all fees.

Please be advised that both the Plumber and Excavator must take out the required Plumbing and Excavation Permits through the Building Office at least two days prior to the anticipated connections to the City owned mains.

Applicant's Name or Company: \_\_\_\_\_

Authorized Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address/City/State/Zip: \_\_\_\_\_

Permit Approved By: \_\_\_\_\_

(City of Cloquet)

Date: \_\_\_\_\_

REV 6/19

Public Works Department  
101 14th Street  
Cloquet, MN 55720  
Telephone (218) 879-6758  
FAX (218) 879-6555

**APPLICATION FOR  
EXCAVATION PERMIT  
City of Cloquet, MN**  
City Code – Chapter 9

PERMIT # \_\_\_\_\_  
Permit Fee: \$ \_\_\_\_\_  
Fee Rec'd Date: \_\_\_\_\_  
Insurance Certificate Required  
Restoration Surety Bond Required

Address of Work: \_\_\_\_\_ Date Work to Start: \_\_\_\_\_

Nearest Cross Street: \_\_\_\_\_ Completion Date: \_\_\_\_\_

Description of Work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Contractor: \_\_\_\_\_ Contractor's Rep: \_\_\_\_\_

Telephone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Fax: \_\_\_\_\_

Owner: \_\_\_\_\_ Parcel Number: \_\_\_\_\_

Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Does the work involve repairing or removing a sanitary sewer or water service line? ☐ Yes ☐ No

Does the work involve a new connection to City sanitary sewer and/or water mains? ☐ Yes ☐ No

**NOTE: New connections also require an Application for Utility Service.**

Will any portion of the excavation take place within a City street? ☐ Yes ☐ No

Length and Width of Pavement Cut: \_\_\_\_\_ (Feet)

**NOTE: All excavations within paved roadways with more than 500 ADT will require a temporary bituminous pavement patch and all disturbed pavements shall be squared up and saw cut prior to final restoration.**

The applicant contractor hereby agrees to furnish the required Certificate of Insurance, Restoration Surety Bond, to comply with the General Conditions as stated on the reverse side of this permit, the requirements of Cloquet City Code – Chapter 9, and the following:

**Temporary Pavement Type Required:** \_\_\_\_\_

**Final Restoration of Permanent Pavement Must Be Completed By:** \_\_\_\_\_

Applicant Contractor: \_\_\_\_\_ Owner: \_\_\_\_\_

Contractor's Signature: \_\_\_\_\_ Owner's Signature: \_\_\_\_\_

Permit Issued By: \_\_\_\_\_ Date Issued: \_\_\_\_\_ Date Expires: \_\_\_\_\_  
(City Engineer)

### **Excavation Permit General Conditions**

1. The Contractor and Owner agree to perform all work in accordance with this permit and the requirements of Cloquet City Code – Chapter 9 and shall indemnify and hold harmless the City of Cloquet, its officers and employees from all liability, judgments, costs, expenses, suits, actions or claims growing out of damages, or alleged damages, of any nature to any person or property arising out of performance or non-performance of said work or the existence of facilities and/or appurtenances thereof.
2. In accordance with MN Rules Chapter 7560, prior to any excavation work, the permittee shall contact Gopher State One Call at (800) 252-1166 to have all utilities properly located.
3. The permittee shall proceed with diligence and expedite all excavation work covered by the excavation permit and shall promptly complete the work and restore the street to its original condition, or as near as may be, as soon as practicable and in any event not later than the date specified in the excavation permit therefore.
4. At all times while any work is under construction within the City of Cloquet's right-of-way, the Contractor shall erect and maintain suitable barricades, traffic control and warning devices in accordance with the current Minnesota Manual on Uniform Traffic Control Devices.
5. Backfilling of any excavations in any street, pursuant to an excavation permit issued under this Chapter, shall be compacted to a degree equivalent to that of the undisturbed ground in which the trench was dug. Backfill shall be placed in uniform layers and shall be tamped by acceptable vibratory, mechanical compactors, as required by the soil materials and sound engineering practices generally recognized in the construction industry. Compaction by backhoe bucket and/or vehicle tires is not considered an acceptable compaction method and under no circumstances will this method be approved as the sole method of compaction.
6. The permittee shall be required to monitor and maintain all temporary pavements in safe and drivable condition until such time that the permanent pavement patch is completed.
7. Permanent restoration of the street shall be made by the permittee in strict accordance with the specifications prescribed by the City to restore the street to its original condition as to both material type and pavement thickness. Prior to the replacement of the permanent pavement restoration, the edges of the pavement opening shall be squared up by saw-cutting or an acceptable means of neat-lining for a minimum of two feet beyond the edges of the excavation in all directions.
8. Each permittee shall provide mapping information required by the City in accordance with Minnesota Rules 7819.4000 and 7819.4100. Within ninety (90) days following completion of any work pursuant to a permit, the permittee shall provide the Director accurate maps and drawings certifying the "as-built" location of all equipment installed, owned and maintained by the permittee. Such maps and drawings shall include the horizontal and vertical location of all facilities and equipment and shall be provided consistent with the City's mapping standards. Failure to provide maps and drawings pursuant to this subsection shall be grounds for denying the permittee's future permit applications.
9. If the permittee fails to maintain and restore the right-of-way in the manner and to the condition required by the Director, or fails to satisfactorily and timely complete all restoration required by the Director, the Director at its option may do such work. In that event the permittee shall pay to the city, within thirty (30) days of billing, 100% the cost of restoring the right-of-way plus a 25% administrative fee plus any delay penalties.

**City of Cloquet**  
Grading Permit Application



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**Owner Information**

Company/Owner Name: \_\_\_\_\_  
Contact Person/Title: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor Information**

Company Name: \_\_\_\_\_  
Contact Person/Title: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Property Information**

Property Address: \_\_\_\_\_  
Parcel I.D. #(s): \_\_\_\_\_  
SWU Account No: \_\_\_\_\_ Property Zoning: \_\_\_\_\_

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**Work Description** *(Describe in detail the proposed building type, and scope of work.)*

Total Property Area (ft<sup>2</sup>): \_\_\_\_\_ Disturbed Area (ft<sup>2</sup>): \_\_\_\_\_  
\*Existing Impervious Surface (ft<sup>2</sup>): \_\_\_\_\_ Start Date: \_\_\_\_\_  
\*Proposed Impervious Surface (ft<sup>2</sup>): \_\_\_\_\_ Completion Date: \_\_\_\_\_  
Excavation (yd<sup>3</sup>): \_\_\_\_\_ Fill (yd<sup>3</sup>): \_\_\_\_\_

*\*Note: City Ordinance defines impervious surface as those surfaces on a property that prevent or impede the infiltration of stormwater into the soil at the same rate as natural or pre-developed conditions. Common impervious areas may include, but are not limited to, rooftops, sidewalks, walkways, patio areas, driveways, parking lots, storage areas, compacted gravel or soil surfaces, and any other surface that prevents or impedes the natural infiltration of stormwater runoff.*

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**Wetlands and Public Waters**

Receiving Water: \_\_\_\_\_

Are Wetlands present on the property? ☐ Yes ☐ No ☐ N/A

Will work take place in any wetland, stream, river, or other water body? ☐ Yes ☐ No ☐ N/A

Impacted Area (ft<sup>2</sup>): \_\_\_\_\_

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**Proposed Erosion Control Measures** *(Check all that apply.)*

- |   |   |                                       |
|---|---|---------------------------------------|
| <input type="checkbox"/> Silt Fence           | <input type="checkbox"/> Inlet Protection         | <input type="checkbox"/> Ditch Checks |
| <input type="checkbox"/> Rock Const. Entrance | <input type="checkbox"/> Straw Bales              | <input type="checkbox"/> Bio-rolls    |
| <input type="checkbox"/> Mulch/Straw          | <input type="checkbox"/> Temporary Seeding        | <input type="checkbox"/> Rock Logs    |
| <input type="checkbox"/> Other: _____         | <input type="checkbox"/> None/Rapid Stabilization |                                       |

**City of Cloquet**  
**Grading Permit Application**



**Landscaping/Restoration Methods for Disturbed Areas (Check all that apply.)**

☐ Sod      ☐ Seed & Mulch      ☐ Pavement      ☐ Class 5

☐ Other: \_\_\_\_\_

**Authorized Signature**

*By signing below applicants certify that the attached information and site plan are a true and correct representation of actual site conditions found on said property and hereby agree to follow all applicable terms and conditions found in Cloquet City Code, International Building Code Appendix J and the General Stormwater Permit for Construction Activity as issued by the Minnesota Pollution Control Agency. Any person, firm, or corporation failing to comply with or violating any of these regulations, may be deemed guilty of a misdemeanor and be subject to a fine or imprisonment or both. In addition, all land use and building permits may be suspended until the applicant has corrected the violation.*

*If circumstances exist such that noncompliance with this permit poses an immediate danger to the public health, safety and welfare, as determined by the City, the City may take emergency preventative action to correct the deficiency or hire a contractor to correct the deficiency. The issuance of a permit constitutes a right-of-entry for the City or its contractor to enter upon the construction site for the purpose of correcting deficiencies and performing inspections. As a condition of the permit, the owner shall waive notice of any assessment hearing to be conducted by the City, concur that the benefit to the property exceeds the amount of the proposed assessment, and waive all rights by virtue of Minnesota Statute 429.081 to challenge the amount or validity of such assessment costs related to cleanup or corrective actions taken by the City.*

\_\_\_\_\_  
Owner/Principal

\_\_\_\_\_  
Contractor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

**Permit Approval (For Office Use Only)**

\_\_\_\_\_  
Engineering Department

\_\_\_\_\_  
Zoning Administrator

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

Does this Application trigger WCA?

☐ Yes    ☐ No    ☐ N/A

**Comments/Requirements:**

Grading Permit Base Fee: \$ 25.00

Supplemental Fee (\$1.00 per 1,000ft<sup>2</sup> of Graded Area): \$ -

**Total Fee:** \$ -

## CITY OF CLOQUET MECHANICAL PERMIT APPLICATION

JOB ADDRESS:

Parcel ID # (PIN):

Owner Name & Address:

Owner Phone / Email:

Contractor Name & Address:

Contractor Phone / Email:

Use of Building:

Describe Work:

Special Conditions:

<div><div><div><b>NOTICE</b></div><div>I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF THIS PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.</div></div></div>	Number	Type of fixture or item	Price ea.	Total
		Furnace <100,000 BTU/h	\$ 15	\$ 0
		Furnace >100,000 BTU/h	\$ 25	\$ 0
		Boiler <100,000 BTU/h	\$ 15	\$ 0
		Boiler >100,000 BTU/h	\$ 25	\$ 0
		Compressor <100,000 BTU/h	\$ 15	\$ 0
		Compressor >100,000 BTU/h	\$ 25	\$ 0
		Airhandler <10,000 cfm	\$ 15	\$ 0
		Airhandler >10,000 cfm	\$ 25	\$ 0
		Heat Exchanger <10,000 cfm	\$ 15	\$ 0
		Heat Exchanger >10,000 cfm	\$ 25	\$ 0
		Air Conditioner	\$ 15	\$ 0
		Incinerator	\$ 20	\$ 0
		New Gas Lines	\$ 15	\$ 0
		Misc	\$ 15	\$ 0

Signature of Contractor:

Signature of Owner - If Builder:

PERMIT #

Approved by:

Date:

State Surcharge		\$ 1.00
Base Fee		\$ 25.00
<b>Total Fee</b>		<b>\$ 26.00</b>



## CITY OF CLOQUET PLUMBING PERMIT APPLICATION

JOB ADDRESS:

Parcel ID # (PIN):

Owner Name & Address:

Owner Phone / Email:

Contractor Name & Address:

Contractor Phone / Email:

Use of Building:

Describe Work:

Special Conditions:

	Number	Type of fixture or item	\$ 10 per Item
	0	TOILET	\$ 0.00
	0	BATHTUB	\$ 0.00
	0	BATHROOM SINK	\$ 0.00
	0	SHOWER	\$ 0.00
	0	KITCHEN SINK & DISPOSAL	\$ 0.00
	0	DISHWASHER	\$ 0.00
	0	LAUNDRY TUB	\$ 0.00
	0	CLOTHES WASHER	\$ 0.00
	0	WATER HEATER	\$ 0.00
	0	URINAL	\$ 0.00
	0	DRINKING FOUNTAIN	\$ 0.00
	0	FLOOR SINK OR DRAIN	\$ 0.00
	0	SLOP SINK	\$ 0.00
	0	GAS SYSTEMS: # OF OUTLETS	\$ 0.00
	0	WATER PIPING & TREATING EQUIP.	\$ 0.00
	0	WASTE INTERCEPTOR	\$ 0.00
	0	VACUUM BREAKERS	\$ 0.00
	0	GREASE TRAPS	\$ 0.00
	0	MISC:	\$ 0.00
		Sub total	\$ 0.00
		State Surcharge	\$ 1.00
		Base Fee	\$ 25.00
		Total Fee	\$ 26.00

Signature of Contractor:

Signature of Owner - If Builder:

PERMIT #

Approved by:

Date: